

Section 4.3.6 – Non-Residential Site Design Requirements

1. **Parking.** Each use shall be required to provide off-street parking in accordance with the requirements of Section 5.4.
 - A. Off-street parking shall be located in the rear yard to the maximum extent practical. Parking may be permitted in the side yard where it is setback a distance equal to the building, does not occupy more than 40% of the frontage along the street and a 3-foot tall brick screenwall that serves as an extension of the adjacent building is provided between the parking and the sidewalk.
 - B. Uses on separate lots may enter into shared parking agreements. The amount of parking provided for all such uses shall equal the sum of the parking required for each individual use; provided, however, the Planning Commission may authorize a reduction in the total number of required parking spaces when it has been determined that 2 or more uses can be adequately served by the same parking spaces by reason of the characteristics of the land uses and their hours of operation.
2. **Bicycle Facilities.** All developments with parking lots shall be designed to accommodate bicycle travel by providing bike racks.
3. **Loading.** Off-street loading spaces shall be provided as required by Section 5.5. Waivers to loading space requirements may be granted by the Planning Commission for uses such as offices or banks where deliveries by truck will not be necessary. Loading and outdoor storage areas shall be located in the rear yard or within loading bays that are that are surrounded or enclosed by buildings, and not visible from the street. Loading areas not within loading bays shall be screened from any adjacent use by a 6 foot tall brick wall or other masonry material matching the primary building material.
4. **Landscaping and Screening.** Landscaping and screening shall be provided for as follows:
 - A. **Street Trees.** One (1) street canopy tree shall be provided for each 40 feet of street frontage. Street trees shall be minimum 2½ inch caliper canopy trees.
 - B. **Parking Lot Landscaping.** Parking lots shall be landscaped with one (1) canopy tree for every 10 parking spaces. Parking lots that are located in a rear yard and are not visible from the street shall be exempt from this requirement.
5. **Screen Walls.** Where required, screen walls must meet the following requirements:
 - A. All screen walls must be at least 36-inches in height, measured from the highest grade on either side of the wall location.
 - B. Walls shall be constructed of brick no less than 8" thick and shall have a pointed, 45-degree limestone or brick cap that overhangs the wall no less than 1/2 inch on each side. Brick walls must be constructed on a continuous foundation.
 - C. Wrought iron fencing or other similar ornamental fencing may be used, provided its design uses brick piers and it is installed along with a continuous hedge row.
6. **Waste receptacles.** Waste receptacles shall not be visible from the street and shall be located in the rear yard. Waste receptacles over 55 gallons in size shall be enclosed by a 6 foot tall wall constructed of brick or other masonry material matching the primary building material. Multiple businesses may share a waste receptacle, provided there is a recorded agreement for shared use and maintenance. Uses with multiple smaller trash cans shall keep the trash cans in some form of screened enclosure.
5. **Parking Lot Screening.** Where parking is visible from a street, it shall be screened by a 3-foot tall screen wall located between the parking lot and the sidewalk. Where a parking lot for a non-residential use is adjacent to a residential use or district, a 6-foot tall brick screen wall or wooden fence, as approved by the Planning Commission, shall be provided between the parking lot, including drives, and the residential use or district.
- D. **Buffers.** A 10-foot wide landscape buffer shall be installed between any non-residential building and any adjacent residential use. The buffer shall include a 3-foot high berm, planted with one (1) tree and 4 shrubs for every 20 linear feet of shared property line. Trees shall consist of minimum 2½ inch caliper canopy trees or minimum 6-foot tall evergreen trees.

7. **Outdoor lighting.** All outdoor lighting used to light the general area of a non-residential site shall be shielded to reduce glare and shall be arranged to reflect lights away from all adjacent residential districts or adjacent residences, in accordance to the standards below:
- A. Light shall not exceed more than one half (0.5) footcandles at a residential lot line. Light shall not exceed more than 1.0 footcandle at a non-residential lot line, except along the road frontage. The maximum light level on the site shall be ten (10) footcandles. Light levels under canopies, such as gas stations or drive-through banks, may be increased up to a maximum of twenty (20) footcandles.
 - B. Outdoor lighting fixtures, including parking lot lights and wall-packs shall be downward directed, shielded, full cutoff fixtures. Lighting shall be directed toward and confined to the ground areas of lawns or parking lots except for ornamental lighting. Ground-mounted flood lights must be directed onto structures in a manner that does not cause off-site glare.
 - C. Ornamental lighting, including pedestrian lighting and decorative wall sconces, may be permitted if approved by the Planning Commission. Decorative lighting must be designed to limit light spill onto adjacent properties.
 - D. Light pole heights may not exceed twenty (20) feet in height. Additional pole height may be allowed at road intersections, as approved by the Planning Commission.
 - E. Exterior neon lighting is not permitted.
 - F. Street lights shall be required in the CBD along Michigan Avenue and Lake Street:
 - 1) Placement shall be coordinated with street tree locations and should generally be placed every sixty (60) feet on center.
 - 2) Electrical outlets must be included in the light design to allow for decorative holiday lighting.

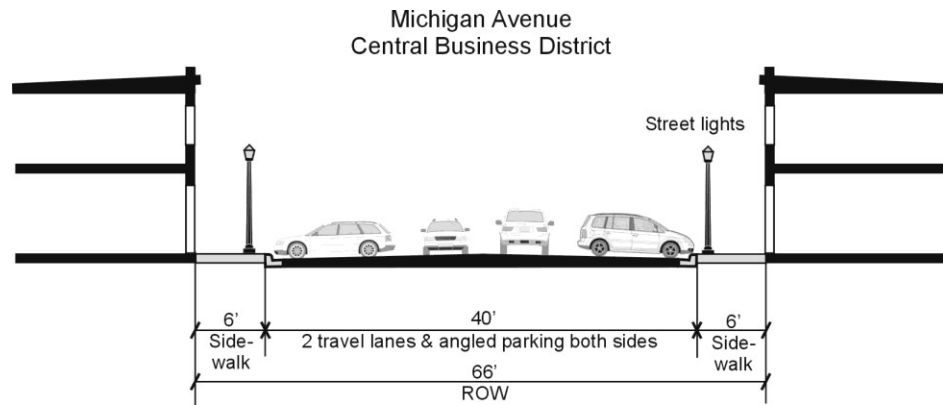
Section 4.3.7 Streetscape Requirements

The following typical street cross sections represent the desired street form for the various districts and streets noted. The following are typical street sections and may vary along their length based upon Village engineering standards.

1. An applicant shall not be required to make any improvements to the vehicular lanes located between the curbs for an existing public street. However, the applicant shall make all streetscape improvements outside of the street curb along the lot frontage as shown in the following cross sections, including sidewalks, curb-lawn landscaping and street trees.
2. When an applicant proposes a new street or to reconstruct an existing street, they shall construct the street and associated streetscape improvements in accordance with the following street cross sections and all applicable Village engineering, and construction standards.

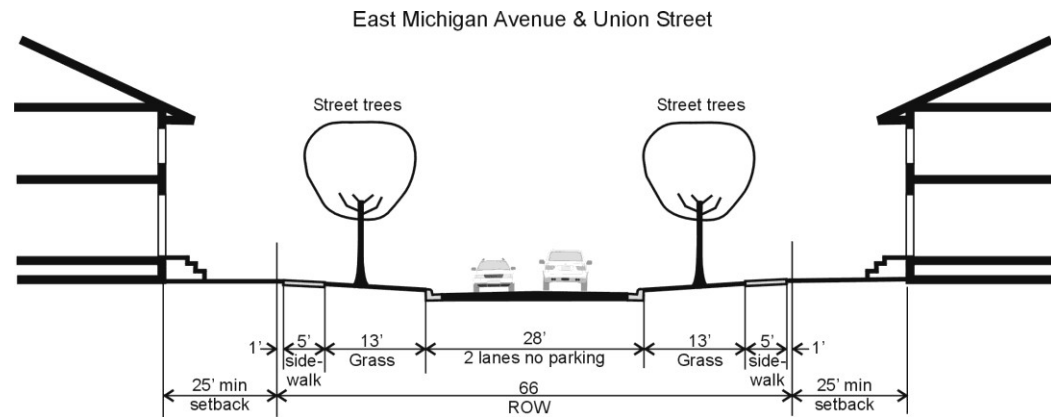
Michigan Avenue CBD

Roadway	40 feet, or as determined by MDOT. 2 travel lanes
Curb-lawn	None.
Sidewalk	Minimum 6 foot wide both sides.
Street lights	Village street lights.
Street trees	None required.
Parking	East of Lake St. angled parking on both sides. West of Lake St. angled on north side, parallel on south side
Right-of-way	66 feet, or as determined by MDOT.



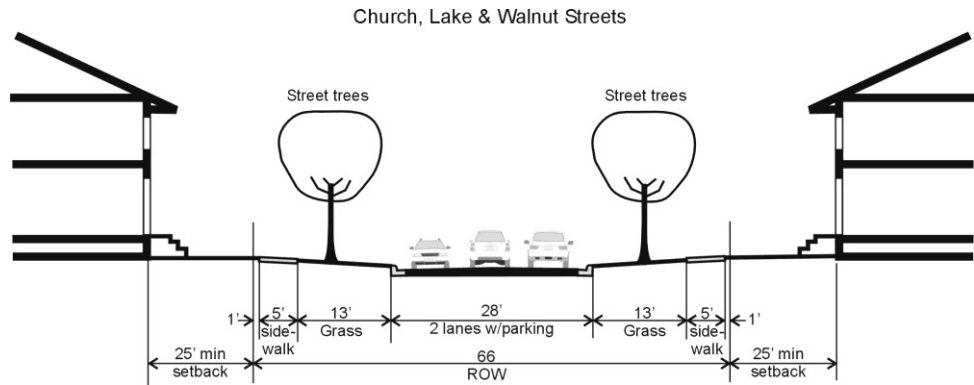
Michigan Avenue (outside CBD) and Union Street

Roadway	28 feet, or as determined by MDOT. 2 travel lanes
Curb-lawn	13 feet grass between curb and sidewalk.
Sidewalk	Minimum 5 foot wide both sides.
Street lights	None required.
Street trees	Minimum one tree every 40 feet in curb-lawn or in front yard within 15 feet of front lot line.
Parking	No parking, except on-street parallel parking is allowed on Union Street, south of Michigan Avenue.
Right-of-way	66 feet, or as determined by Village.



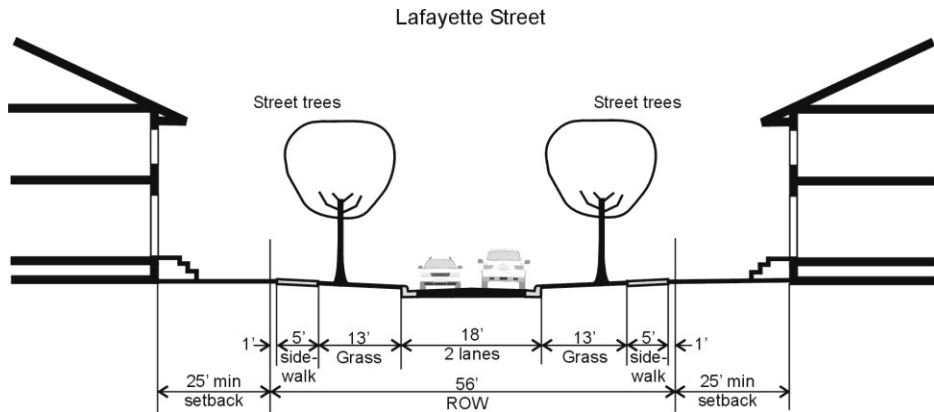
Church, Lake and Walnut Streets

Roadway	28 feet, or as determined by Village. 3 lanes – travel/parking.
Curb-lawn	13 feet grass between road and sidewalk.
Sidewalk	Minimum 5 foot wide both sides.
Street lights	None required.
Street trees	Minimum one tree every 40 feet in curb-lawn or in front yard within 15 feet of front lot line.
Parking	Parallel parking both sides.
Right-of-way	66 feet, or as determined by Village.



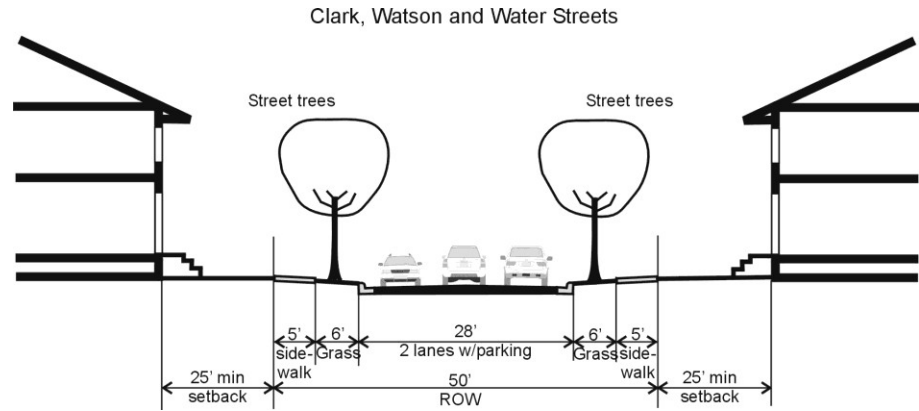
Lafayette Street

Roadway	18 feet, or as determined by Village. 2 lanes – travel, no parking.
Curb-lawn	13 feet grass between curb and right-of-way.
Sidewalk	Minimum 5 foot wide both sides.
Street lights	None required.
Street trees	Minimum one tree every 40 feet in curb-lawn or in front yard within 15 feet of front lot line.
Parking	Parallel parking on one side.
Right-of-way	56 feet, or as determined by Village.



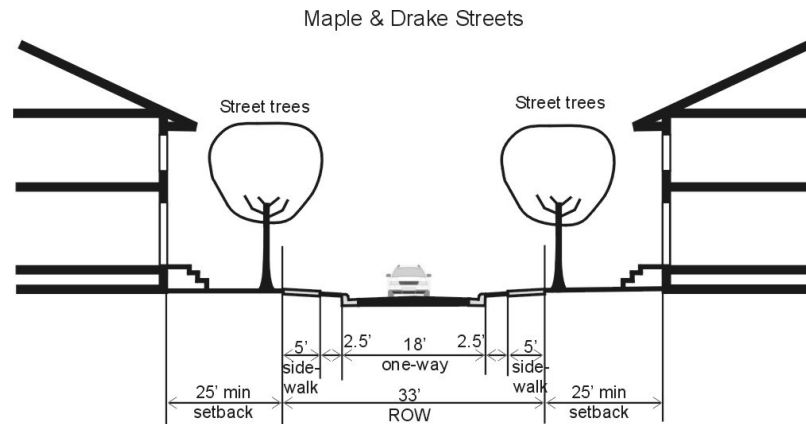
Clark, Watson and Water Streets

Roadway	28 feet, or as determined by Village. 3 lanes - travel/parking.
Curb-lawn	6 feet grass between curb and right-of-way.
Sidewalk	Minimum 5 foot wide both sides.
Street lights	None required.
Street trees	Minimum one tree every 40 feet in curb-lawn or in front yard within 15 feet of front lot line.
Parking	Parallel parking both sides.
Right-of-way	50 feet, or as determined by Village.



Maple and Drake Streets

Roadway	18 feet, or as determined by Village. One-way.
Curb-lawn	3½ feet grass between curb and sidewalk. 7½ grass area where there is no sidewalk.
Sidewalk	Minimum 5 foot wide both sides.
Street lights	None required.
Street trees	Minimum one tree every 40 feet in front yard within 15 feet of front lot line.
Parking	No parking.
Right-of-way	33 feet, or as determined by Village.



(Amended, effective May 20, 2009.)